

Agenda & Notes

2010/ 1st Meeting
of the
**Building & Works
Committee**

Venue of the Meeting

Conference Hall, PDPM-IIITDM, Jabalpur

Date and Time of the Meeting

Feb 21, 2010 at 11.00 Hrs



PDPM
Indian Institute of Information Technology, Design
and Manufacturing Jabalpur

Agenda Notes for the 2010/1st

Meeting of Buildings & Works Committee, 2010

[to be held on February 21st, 2010 at Conference Hall, PDPM IIITDM Jabalpur]

Table of Contents

Item No.	Agenda Item	Page No
B&WC/2010:1.01	Opening remarks by the Chairperson.	2
B&WC/2010:1.02	Confirmation of Minutes of 2009/2 nd meeting of the Building & Works Committee held on 18 th July, 2009	2
B&WC/2010: 1.03	To consider the Preliminary estimate for the work of Construction of Narmada Residency II	2
B&WC/2010: 1.04	To consider the Preliminary estimate for the work of Construction of Narmada Residency III	2
B&WC/2010:1.05	To consider the Preliminary estimate for the work of Construction of Road Network (Phase I)	3
B&WC/2010: 1.06	To consider the Preliminary estimate for the work of External Electrification & Lighting	3
B&WC/2010: 1.07	To consider the Preliminary estimate for the work the External HT line for service connection	4
B&WC/2010: 1.08	To Review the progress of Hall of Residence I (SH: Civil & Electrical)	4
B&WC/2010: 1.09	Any other items with the permission of the Chair	5

B&WC/2010: 1.01 Opening Remarks by the Chairperson

Opening remarks by the Chairperson will be presented in the meeting itself.

B&WC/2010: 1.02 Confirmation of Minutes of the 2009/ 2nd Meeting of the B&WC held on July 18, 2010

Minutes were circulated after the meeting and are placed at Annexure B&WC/2010/1/A-1 (page P-6 to P-8) for confirmation.

The Building & Works Committee is requested to confirm the same.

B&WC/2010: 1.03 To consider the Preliminary estimate for the work of Construction of Narmada Residency II (50 nos Staff Flats)

Preliminary estimate submitted by the Architect, M/s Architect-Ateliar, Chandigarh for construction of 50 nos. flats consisting of one drawing cum dining room, two bed rooms along with kitchen and two toilets, have been framed on CPWD Delhi plinth area rates 2007 along with approved cost enhancement as applicable at Jabalpur. The vetted estimates along with concept drawing, history, design & scope, specification are placed at Annexure B&WC/2010/1/A-2 (Pages P- 8 to P- 20). The preliminary estimate after being vetted by the CPWD and including architects fee amounts to Rs 1598 Lacs (Fifteen cores ninety eight lacs) only.

The B & WC is requested to accept the preliminary estimate for Construction of Narmada Residency II amounting to Rs 1598 (Fifteen cores ninety eight lacs) and to request the Finance committee to consider the same and recommend it to the Board of Governors for its administrative approval and expenditure sanction.

B&WC/2010: 1.04 To consider the Preliminary estimate for the work of Construction of Narmada Residency III (60 NOs. Staff Flats)

Preliminary estimate submitted by the Architect, M/s Architect Ateliar, Chandigarh for construction of 60 nos. flats having one drawing cum dining room, two bed rooms, one study along with kitchen and two toilets, have been framed on CPWD Delhi plinth area rates 2007 along with approved cost enhancement as applicable at Jabalpur. The vetted estimates along with concept drawing, history, design & scope,

specification are placed at Annexure **B&WC/2010/1/A-3** (Pages P-21 to P- 34). The preliminary estimate after being vetted by the CPWD and including architects fee amount to Rs. 2563 Lacs (Twenty five cores sixtythree lacs) only.

The B & WC is requested to accept the preliminary estimate for Construction of Narmada Residency III amounting to Rs. 2563 Lacs (Twenty five cores sixtythree lacs) only and to request the Finance committee to consider the same and recommend it to the Board of Governors for its administrative approval and expenditure sanction.

B&WC/2010: 1.05 To consider the Preliminary estimate for the work of Construction of Road Network of Academic area (Phase I)

Preliminary cum detailed estimate for the construction of Road Network of Academic area (Phase I) have been prepared on Delhi Schedule of rates 2007 along with approved cost enhancement as applicable at Jabalpur. The estimate received from the Architect M/s Architect Ateliar, Chandigarh Annexure **B&WC/2010/1/A-4** (Pages P- 35 to P-37) has been put up to CPWD for vetting and recommendations, if any. The final estimate after incorporating the observations and comments of CPWD shall be placed on the table in the meeting itself.

The B & WC is requested to accept the preliminary estimate for Construction Of Road Network Phase I of academic area and to request the Finance committee to consider the same and recommend it to the Board of Governors for its administrative approval and expenditure sanction.

B&WC/2010: 1.06 To consider the Detailed estimate for the work of External Electrification & Lighting (Phase I)

Detailed estimate for the work of External Electrification & Lighting (Phase I) has been prepared on Delhi Schedule of Rates 2007 along with approved cost enhancement as applicable at Jabalpur & Market rates amounts to Rs 152 Lacs. The received estimate along with concept drawing is placed at Annexure **B&WC/2010/1/A-5** (Pages P-38 to P- 46). The estimate has been put up to CPWD for vetting and recommendations, if any. The final estimate after incorporating the observations and comments of CPWD shall be placed on the table in the meeting.

The B & WC is requested to accept the preliminary estimate for External Electrification & Lighting Phase I and to request the Finance committee to



consider the same and recommend it to the Board of Governors for its administrative approval and expenditure sanction.

B&WC/2010: 1.07 To consider the Preliminary estimate for the work of External HT line.

Institute, in order to cater its electricity requirements has applied for electrical connection from Madhya Pradesh Poorav Kshetra Vidut Vitran Company (MPPKV Co). As per norms the Institute has been granted 33 KV HT connection. For supplying the power Preliminary cum detailed estimate for the work of External HT Line along with its ancillary work have been prepared by MPPKV Co. on their Schedule of rates. The estimate also takes into account shifting of an existing electrical line passing through the campus. The estimate amounts to Rs1,31,14,268 (One Core thirtyone lacs fourteen thousand two hundred sixty eight only) as forwarded by the SE O&M, MPPKV Co Ltd Jabalpur to its corporate office. The estimates is placed at Annexure **B&WC/2010/1/A- 6** (Pages P- 47) .The final estimate received from the MPPKV Co Ltd shall be placed on the table in the meeting itself.

The B & WC is requested to accept the preliminary estimate External HT line & Electrification amounting to Rs 1,31,14,268 (One Core thirtyone lacs fourteen thousand two hundred sixty eight only),and to request the Finance committee to consider the same and recommend it to the Board of Governors for its administrative approval and expenditure sanction.

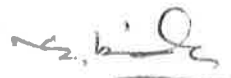
B&WC/2010: 1.08 To Review the progress of Hall of Residence I (SH: Civil & Electrical)

The above said work has been awarded to M/s N. M. Roof Designer Ltd at tendered amount of Rs 1049 Lacs. The date of start of work was 18.03.07 and date of completion was 18.01.08. Till now the agency has completed 3 wings along with the Facility Block. The structure work of balance 2 out of 3 wings is near complete and finishing work are in progress. Running account bills amounting to Rs 919 Lacs have been paid to agency. An amount of Rs 22.7 lacs has been withheld on accord of non achievement of milestones. In addition to it as per the terms of agreement Rs. 91.9 lacs (performance security deposit of Rs. 52.47 lacs in the form of Bank guarantee and Rs 42.33 from running bills towards security deposit) have also been deducted from contractor. The agency is facing financial constraints and has made a request to

release the security deposit amounting to Rs 42.33 lacs against a bank guarantee. It has also requested the extension of time for another three months for completion of balance work. The electrical component of work awarded to M/s Bhardwaj Brothers is also getting delayed and it has also requested extension of time.

The B&WC is requested to consider these issues and give its directions.

B&WC/2010: 1.9 Any other Item with the Permission of the Chair



ANNEXURE-1

**MINUTES OF THE 2009/2nd MEETING OF THE BUILDING AND WORKS
COMMITTEE HELD ON JULY 18, 2009 AT CONFERENCE HALL, PDPM IIITDM
JABALPUR**

Present:

- | | |
|---|------------------|
| 1. Prof. Aparajita Ojha
Director
PDPM IIITDM Jabalpur | Chairperson |
| 2. Mr. P. S. Manglani
Ex-Superintending Engineer
Irrigation, Jabalpur | Member |
| 3. Shri B K Nema
Ex-Superintending Engineer
PWD, Jabalpur | Member |
| 4. Shri Raghunath Bhattacharya
Deputy Registrar
PDPM IIIT DM Jabalpur | Acting Secretary |
| 5. Mr S Mohan,
Director (Finance)
Ministry of HRD. | Special Invitee |
| 6. Dr V K Gupta,
Associate Professor, PDPM IIIT DM Jabalpur | Special Invitee |
| 7. Shri T S Anand
AEE, PDPM IIIT DM Jabalpur | Special Invitee |

Leave of Absence

- | | |
|---|--------|
| 1. Mrs. Seema Raj
Director (Technical)
Ministry of HRD. | Member |
|---|--------|

B&WC/ 2009:2. 01 Opening remarks by the Chairperson, B&WC

The Chairperson welcomed all the members of the B & WC and the special invitees. Further she apprised the Committee of progress made by Institute on campus construction and development works. She informed the members about the extremely slow progress of Hall of Residence – 1 and the problems that the Institute is facing due to this. Members expressed their concern over the issue.

She informed the members that Institute has started planning for design of residential zone in addition to Students Activity Center (SAC), Visitors Hostel and services. One of the members suggested that if several works could be combined as a single package, big construction agencies could be attracted. This would also help in accelerating pace of campus construction and development. The Committee also deliberated on various modes on works execution and management. It was further opined that for future works on residential zone, guest house, shopping centre and students activity centre etc. Institute may explore the possibility of engaging some government agency such as CPWD / EdCil.

**B&WC/2009:2. 02 Confirmation of Minutes of 2009/1st meeting of the Building &
Works Committee held on 18th February, 2009**

Minutes of 2009/1st meeting of the B&WC held on February 18, 2009 were confirmed.

B&WC/2009:2. 03

**To consider the Preliminary estimates for the work of
Construction of Mess & Dining Hall for UG Hostels.**

The B&WC discussed at length the concept drawings, design, specification and preliminary estimates of the Mess & Dining Hall for UG Hostel. The reason for developing a single building to cater to kitchen and dining viz economizing the footprint, possibility to get good caterer etc were brought to notice of the committee. The Committee deliberated at length the provision of cost escalation and felt it was prudent as no escalation had been approved for Jabalpur since 2007. Provision for site development, kitchen equipment have not been included and estimate for them shall be put-up separately.

The B&WC accepted the preliminary estimates amounting to Rs.628 Lacs (Rs Six Hundred Twentyeight lacs) for construction of Mess & Dining Hall and UG Hostel and requested the Finance Committee to recommend the same to the Board of Governors for administrative approval and financial sanction for the above work.

B&WC/2009:2. 04

**To consider tenders received for the works of Construction of
Lecture Hall & Tutorial Complex**

The Committee considered the memo forwarding tenders pertaining to the work. The Committee took note of participation in the tender. The Committee discussed outcome of tender and expressed its satisfaction on it. The reasons pertaining to high per sqm cost of Rs.23,250/- viz being a large span building with low repetitions, specialized roofing for lecture Halls, sound & thermal insulation, building automation etc were brought to notice of the Committee.

The B&WC accepted to award the work of Construction of Lecture Hall & Tutorial Complex to M/s Survi Projects Pvt Ltd, New Delhi at Rs. 22,57,83,289/- (Rupees Twenty two crores, fifty seven lacs, eighty three thousands two hundred and eighty nine only), an amount arrived at after negotiations and being within ten percent of sanctioned amount approved for the work.

B&WC/ 2009:1. 06

Any other item with the permission of the Chair

The meeting ended with a vote of thanks to the Chair.

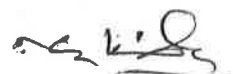
Sd/-
(Raghunath)
Acting Secretary

Sd/-
(Aprajita Ojha)
Chairperson
Building and Works Committee

MINUTES

IIITDMJ/B&WC 2009/2nd Page No.7

Note: All Annexures of the minutes have already been circulated before.



ANNEXURE-2

Annexure- B&WC/2010/1/A-2

Name of work : Construction of Narmada Residency II (50 nos staff flats)

Head of Account : Chargeable to Plan Budget.

Preliminary estimate amounting to Rs.1598 Lacs (Rs. Fifteen crores ninetyeight lacs only) including Architects Fees @ 5.515% (5% fees + 10.30% service tax on fees) & 3% Contingencies prepared by M/s Architects Ateliar , Chandigarh to meet the cost of the above mentioned work.

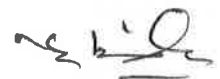
History :

- i) Based on the initial brief, which was discussed in the Campus Advisory Committee meeting, it was suggested to have create residential facility in such a manner that the footprint is used prudently so that their is scope of future expansion.
- ii) The Architect presented their plan-based inputs of the Campus Advisory Committee with residential area having combination of independent duplexes and vertical towers.
- iii) The plan was deliberated and the broad concept residential of having independent houses and towers was agreed upon. Apart from it member made many observations on the general layout, proposed plans of houses, orientation etc. It was concluded that in order to cater to immediate residential requirements two towers may be taken up initially. The Architect plan after making modifications is placed at P-11 to P 14

Design & Scope : The design of the proposed building has the following features:

- This tower is a five storied building having stilted parking at ground floor.
- All together it shall have 50 flats.
- Each flat shall have one drawing cum dining room, two bed rooms, two toilets and a kitchen.
- The proposed area of each flat shall be 77.946 sqm.
- Provision for two passenger lift shall be made.
- Provision for site development, internal roads and paths and horticulture operation shall be put up separately.

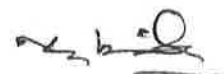
Specification : As per CPWD specifications 2009 Vol I to II

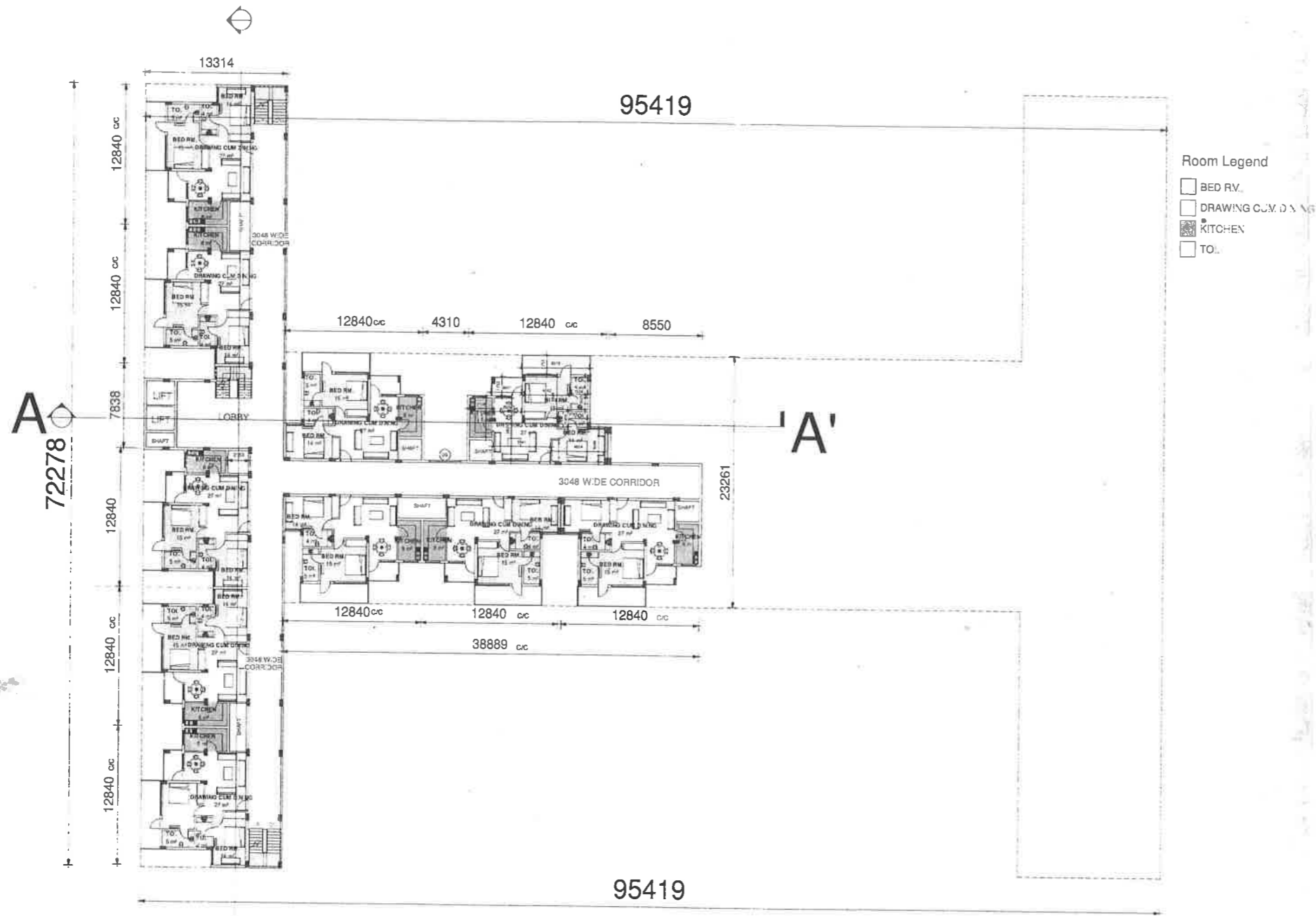


Rates	i) Delhi plinth area rates 2007 alongwith approved cost index of 109 for Jabalpur . ii) Items not available in the DPAR have been analyzed on DSR 2007.
Period of Construction	Total eighteen months.
Mode	CPWD shall manage construction of project..

(V K Dubey)

A.E.





TYPICAL FLOOR PLAN

AREA STATEMENT :-
 AREA OF EACH FLAT = 77.946 SQMTRS.
 TOTAL NOS. OF FLATS = 10 NOS.
 TOTAL AREA = 779.46 SQMTRS.
 SUPER AREA = 1323.73 SQMTRS

AREA OF CORRIDOR = 363.051 SQ MTS.
 AREA OF BALCONY ON EACH FLAT = 16 SQ MTS.
 TOTAL AREA OF BALCONY = 160 SQ MTS.

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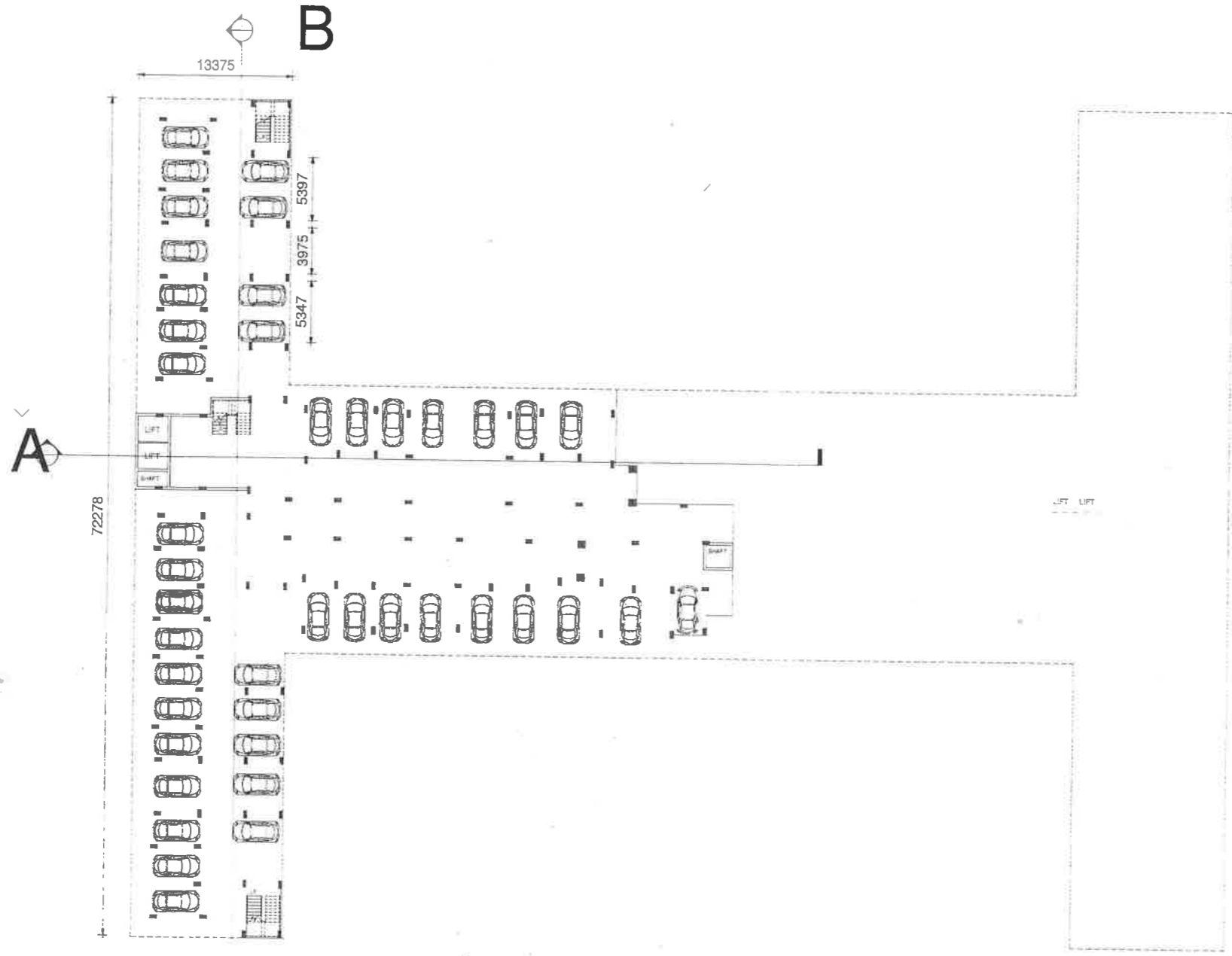
Revisions	Date
IIIT JABALPUR	

8011807 68770 880 641 84887
 0 0000 0 0000 0 0000 0 0000
 Title: TYPE-2 TOWER-1 (PHASE-1)
 TYPICAL FLOOR PLAN

Scale: 1:50
 Date: 24-12-09
 Drawn by: HARS V RAN
 architects atelier
 architects atelier pvt. ltd.
 arch tech projects pvt. ltd.
 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



10



GROUND FLOOR PLAN

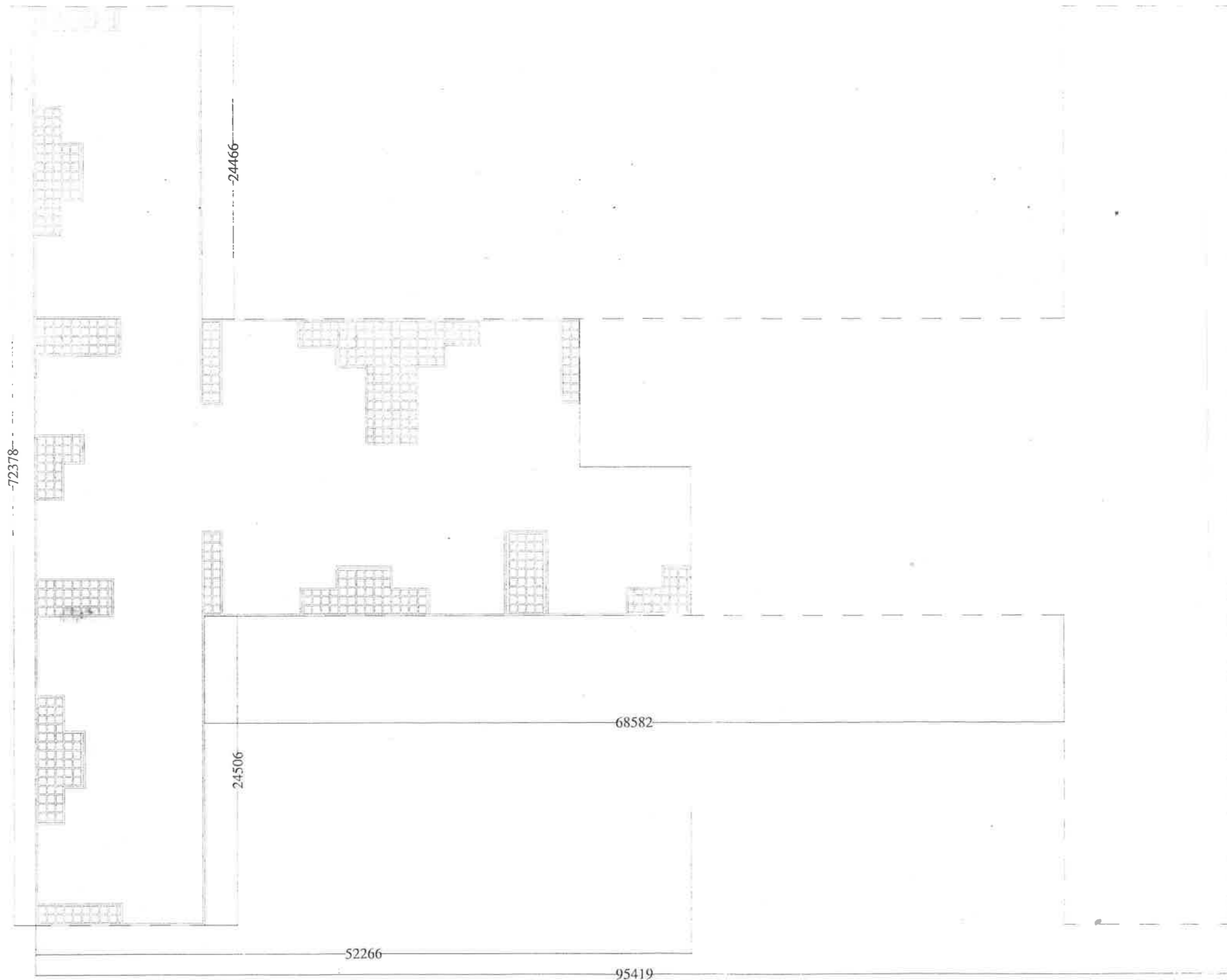
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 their written consent.

Revised:	Date:
IIT JABALPUR	
ARCHITECT: architects atelier ARCHITECT: architects atelier pvt. ltd. ARCHITECT: arch tech projects pvt. ltd.	
Title: GROUND FLOOR PLAN (TYPE-2 TOWER-T) PHASE 1	
Scale: 1 : 150	
Date: 24-12-09	
Drawn by: HARSIVRAN	
architects atelier architects atelier pvt. ltd. arch tech projects pvt. ltd. No. 11, Sector - 13, Knowledge Park - II, GATE - 2 New Delhi - 110016, INDIA TEL: +91-11-26101212, 26101213 FAX: +91-11-26101214 EMAIL: info@architects-atelier.com, info@archtech.com	
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11
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No	Date	Revision
IIIT JABALPUR		
Title RESIDENCE		
ROOF PLAN (TYPE-2 TOWER-) PHASE-1		
archit.saini h.arch., mca	krishna.saini h.arch., m.aui (USA)	s.k.saini h.arch., m.a
Brq No		
Scale NTS		
Date		Date
APR 2009		DEC 2009

ROOF PLAN (PHASE 1)

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GOVERNMENT OF INDIA
OFFICE OF THE CHIEF ENGINEER
CENTRAL ZONE, CENTRAL P.W.D.,
BHOPAL.

PRELIMINARY ESTIMATE

NAME OF WORK :- C/o 50 Nos. Type-II Flats for PDPM IIIT D&M,
Jabalpur (MP)

AMOUNT:- Rs. 15,14,61,000.00 including contingencies

P.E. No.:- 64 / CE(CZ) / 2009- 2010

केन्द्रीय लोक निर्माण विभाग

CPWD

GOVERNMENT OF INDIA
CENTRAL PUBLIC WORKS DEPARTMENT

State : MP.

Division : BCD-II, Bhopal

Branch :- B&R

Preliminary Estimate No. 64 /CE(CZ)/2009-10

Name of Work :- C/o 50 Nos. Type-II Flats for PDPM IIIT D&M, Jabalpur (MP)

Fund :-

Major Head	Minor Head	Detailed Head
	Deposit work	

This Preliminary Estimate framed by Er. J.P. Sharma, Executive Engineer(P)I, C.Z., CPWD, Bhopal, of the probable cost of Rs. 15,14,61,000/- (Rupees fifteen crore fourteen lac sixty one thousand only) including contingencies.

REPORT

History :- This preliminary estimate amounting to Rs. 15,14,61,000/- including 3% contingencies has been framed to meet the probable cost of the above work and for accord of Administrative Approval & Expenditure Sanction from the competent authority.

The requisition for the work has been received from Director, PDPM IIIT D&M, Jabalpur (MP) vide letter No. IIITMJ/B&W/SQ/10/01/01 dated 31.12.2009, received in Central Zone office vide no. 86-E dated 08.01.2010.

Design & Scope :- The preliminary estimate has been framed based on the following architectural drawings, received from Director, PDPM IIIT D&M, Jabalpur (MP) and developed by Architects atelier and Associates, Chandigarh on behalf of PDPM IIIT D&M, Jabalpur (MP).

:-

Sl. No.	Drg. No.	Description
1.	L-01	Layout Plan
2.	A (T-II) 01	Enlarged Single unit plan (T-II)
3.	A (T-II) 02	Typical floor plan (T-II)
4.	A (T-II) 03	Elevation (T-II)
5.	A (T-II) 04	Sections (T-II)
6.	A (T-II) 05	Roof plan (T-II)

The estimate provides for construction of 50 Nos. Type-II multi storied flats in G+5 construction with stilt parking on ground floor. The buildings shall be RCC framed structure with raft foundation. Load bearing capacity of soil formation is assumed at 10T/m², yet to be determined.

The estimate for Type- II flats has been framed keeping in view the provision of specification and construction material shown in the drawings. Conformity of drawings with the entitlement of incumbent occupants and Government of India Rules shall however be ensured by PDPM IIIT D&M, Jabalpur (MP). Because, the drawings do not conform to the plinth area norms of Ministry of Urban Affairs with respect to covered area as well as specifications.

Proposed specifications to be followed in construction and as intimated by Director of Institute are attached as Annexure "A".

This estimate does not include following provisions as desired by Director, PDPM IIIT D&M, Jabalpur, as separate estimate is understood to be sanctioned.

1. Provision of rain water harvesting
2. Metalled road,
3. street lighting
4. Compound wall and fencing.
5. External water supply system
6. Sewerage system
7. Drainage system
8. Electric supply grid
9. Levelling of site.

The architectural and structural drawings shall be prepared by the consultant appointed by PDPM IIIT D&M, Jabalpur and approved by Director, PDPM IIIT D&M, and Jabalpur after due proof checking. CPWD shall manage construction of project.

The cost projected in this estimate is liable to revision due to probable escalation in cost of construction apart from other reasons such as change in scope, area, design, specification etc, if, and as desired by the client department at a later date.

SPECIFICATION : The work shall be carried out as per CPWD specification 2009 Vol-I to II.

RATE : As per PAR 2007 with upto date correction slips duly enhanced by approved cost index of 109 for Jabalpur as on 01.07.09.

COST : Rs. 15,14,61,000/- including 3% Contingencies but excluding consultancy fee.

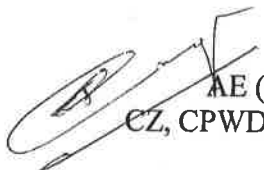
W.C. Estt. : Shall be met out of contingencies, if required.


LAND : Available with client.


T & P : No special T&P will be required.

METHOD : By contract after call of tenders. .

TIME : After receipt of A/A & E/S
(i) Planning 6 (Six) Months
(ii) Execution 18 (Twelve) Months.
24 (Twenty Four) Months


AE (P)
CZ, CPWD, Bhopal


EE (P) I
CZ, CPWD, Bhopal


SE (P)
CZ, CPWD, Bhopal


BRIEF DESCRIPTION OF SPECIFICATION

Name of Work :- C/o 50 Nos. Type-II Flats for PDPM IIIT D&M, Jabalpur (MP)


Sr. No.	Item	Specification
1.	Foundation	RCC isolated/combined footings for Columns. All three columns – Bearing capacity of soil 10 T / Sqm at 1.2 m below ground level.
2.	Superstructure	RCC framed structure, with bricks infill walls.
3.	<u>Shutters</u>	Sliding aluminium window
	a) Window	
	b) Door	Flush door with wooden chowkhat.
	c) W.C. Bath room	Solid PVC shutters.
4.	Fittings	Powder coated aluminium fittings.
5.	Flooring	Vitrified tile flooring.
	a) In rooms	
	b) Common circulation area / Staircase	Kota stone flooring and matching skirting.
	c) Toilets	Ceramic tiles flooring and ceramic tiles upto ceiling height with a decorative bank of tiles.
6..	Finishing	Acrylic smooth exterior paint.
	a) External	
	b) Internal	All walls & ceilings to be treated with 2 mm thick POP putty followed by a coat of plastic emulsion paint except kitchen, bath, WC and ceilings, which will be white washed Synthetic enamel paint on all wood work and steel work.
7.	Roofing	Integral cement based water proofing treatment over terrace slab.
8.	Kitchen Sink	Stainless steel kitchen sink with drain board.
9.	Others	Modular Kitchen, Solar Water Heater.



AE(P)
CZ, CPWD, Bhopal



EE(P)-I
CZ, CPWD, Bhopal



SE(P)
CZ, CPWD, Bhopal

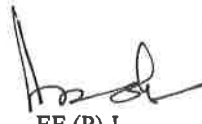
GENERAL ABSTRACT OF COST

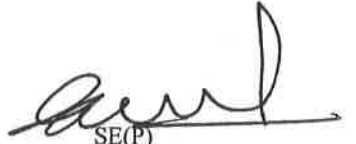
ame of work :- C/o 50 Nos. Type-II Flats for PDPM IIIT D&M, Jabalpur (MP)


No.	Description	Amount (Rs.)		Total (Rs.)
		Civil	Electrical	
1	SH-I : Main Building	124,498,371	19,653,088	144,151,459
	Total	124,498,371	19,653,088	144,151,459

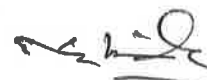
Add for quality Assurance	@	1.00%	1,441,515
			145,592,974
Add for labour Cess	@	1.00%	1,455,930
			147,048,904
Add for Contingencies	@	3.00%	4,411,467
		Total	151,460,371
		Say	151,461,000


AE(P)
CZ, CPWD, Bhopal


EE (P)-I
CZ, CPWD, Bhopal


SE(P)
CZ, CPWD, Bhopal

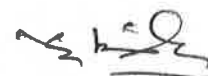

CE(CZ)
CZ, CPWD, Bhopal 13.1.10



ABSTRACT OF COST

Name of work :- C/o 50 Nos. Type-II Flats for PDPM IIIT D&M, Jabalpur (MP)


S.No.	Description	Quantity	Unit	Rate Rs.	Amount in Rs.
SH-I : MAIN BUILDING					
1.0	CIVIL				
1.1	RCC framed structure Floor height upto 2.90 m	8,197	Sqm	9000.00	73,773,000
1.2	Extra for additional height of floor i.e. 3.28 metre against 2.90 metre	6,965	Sqm	190.00	1,323,350
					75,096,350 'A'
1.3	Extra for resisting earthquake forces	8,197	Sqm	630.00	5,164,110
1.4	Extra for RCC Raft foundation (G.F. only)	1,232	Sqm	3560.00	4,385,920
1.5	Extra for fire fighting system- with wet riser	8,197	Sqm	300.00	2,459,100
1.6	Extra for manual fire alarm system	8,197	Sqm	155.00	1,270,535
1.7	Extra for modular kitchen	50	Each quarter	100000.00	5,000,000 MR
1.8	Extra for vitrified tile flooring and skirting instead of terrazo tiles. (item No. 11.41.2 - 11.10.1)	5,700	Sqm	713.60	4,067,520
1.90	Extra for sliding aluminium windows instead of CRC windows	50	Each quarter	35000.00	1,750,000 MR
1.10	Extra for boulding automation / Green Building Provisions @ 5% on 'A'	75,096,350	%	5%	3,754,818
					102,948,353
2.0	SERVICES (CIVIL)				
2.1	Internal water supply & sanitary installation on 'A'	75,096,350	%	12%	9,011,562
2.2	External service connection on 'A'	75,096,350	%	3.75%	2,816,113
				Total	114,776,028
				or approved C.I. of Jabalpur 109 (as on 01.07.09) i.e. 9% on all items excluding MR items	9,722,343
				Grand Total	124,498,371

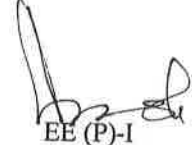


ABSTRACT OF COST

Name of work :- C/o 50 Nos. Type-II Flats for PDPM IIIT D&M, Jabalpur (MP)

S.No.	Description	Quantity	Unit	Rate Rs.	Amount in Rs.
3.0	SERVICES (ELECTRICAL)				
3.1	Internal electric installations	75,096,350	%	12.50%	9,387,044
3.2	External service connection on 'A'	75,096,350	%	1.25%	938,704
3.3	Lightning conductor	75,096,350	%	0.33%	247,818
3.4	Telephone conduits	75,096,350	%	0.50%	375,482
3.5	Centralised intercom system	75,096,350	%	1.00%	750,964
3.6	Computer conduiting	75,096,350	%	0.50%	375,482
3.7	Solar water heater	10,000	litre	LS	2,000,000 MR
3.8	Pasenger lift- 16 passenger (G+5)	2	Each	2060000.00	4,120,000
				Total :	18,195,494
				or approved C.I. of Jabalpur 109 (as on 01.07.09) i.e. 9% on all items excluding MR items	1,457,594
				Grand Total	19,653,088


AE(P)
CZ, CPWD, Bhopal


EE (P)-I
CZ, CPWD, Bhopal

Name of Work: Construction of Narmada Residency II

SUMMARY OF COST

SI no	Description	Amount in Rs.
1	Vetted Cost of Building (A) (including Labour Cess @ 1% & Contingency @ 3%)	15,14,61,000.00
5	Architects Fees @ 5.515% (5% fee + Service tax @10.30%)	83,53,074.00
	Grand Total	15,98,14,074.00

Says Rs 1598 Lacs

ANNEXURE-3

Annexure- B&WC/2010/1/A-3

Name of work : Construction of Narmada Residency III (60 nos staff flats)

Head of Account : Chargeable to Plan Budget.

Preliminary estimate amounting to Rs.2563 Lacs (Rs. Twentyfive crores sixtythree lacs only) including Architects Fees @ 5.515% (5% fees + 10.30% service tax on fees) & 3% Contingencies prepared by M/s Architects Ateliar , Chandigarh to meet the cost of the above mentioned work.

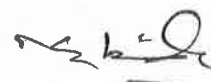
History :

- iv) Based on the initial brief, which was discussed in the Campus Advisory Committee meeting, it was suggested to have create residential facility in such a manner that the footprint is used prudently so that their is scope of future expansion.
- v) The Architect presented their plan-based inputs of the Campus Advisory Committee with residential area having combination of independent duplexes and vertical towers.
- vi) The plan was deliberated and the broad concept residential of having independent houses and towers was agreed upon. Apart from it member made many observations on the general layout, proposed plans of houses, orientation etc. It was concluded that in order to cater to immediate residential requirements two towers may be taken up initially. The Architect plan after making modifications is placed at P-24to P 28

Design & Scope : The design of the proposed building has the following features:

- This tower is a five storied building having stilted parking at ground floor.
- All together it shall have 60 flats.
- Each flat shall have one drawing cum dining room, two bed rooms, one study, two toilets and a kitchen.
- The proposed area of each flat shall be 120.03 sqm.
- Provision for two passenger lift shall be made.
- Provision for site development, internal roads and paths and horticulture operation shall be put up separately.


Specification : As per CPWD specifications 2009 Vol I to II

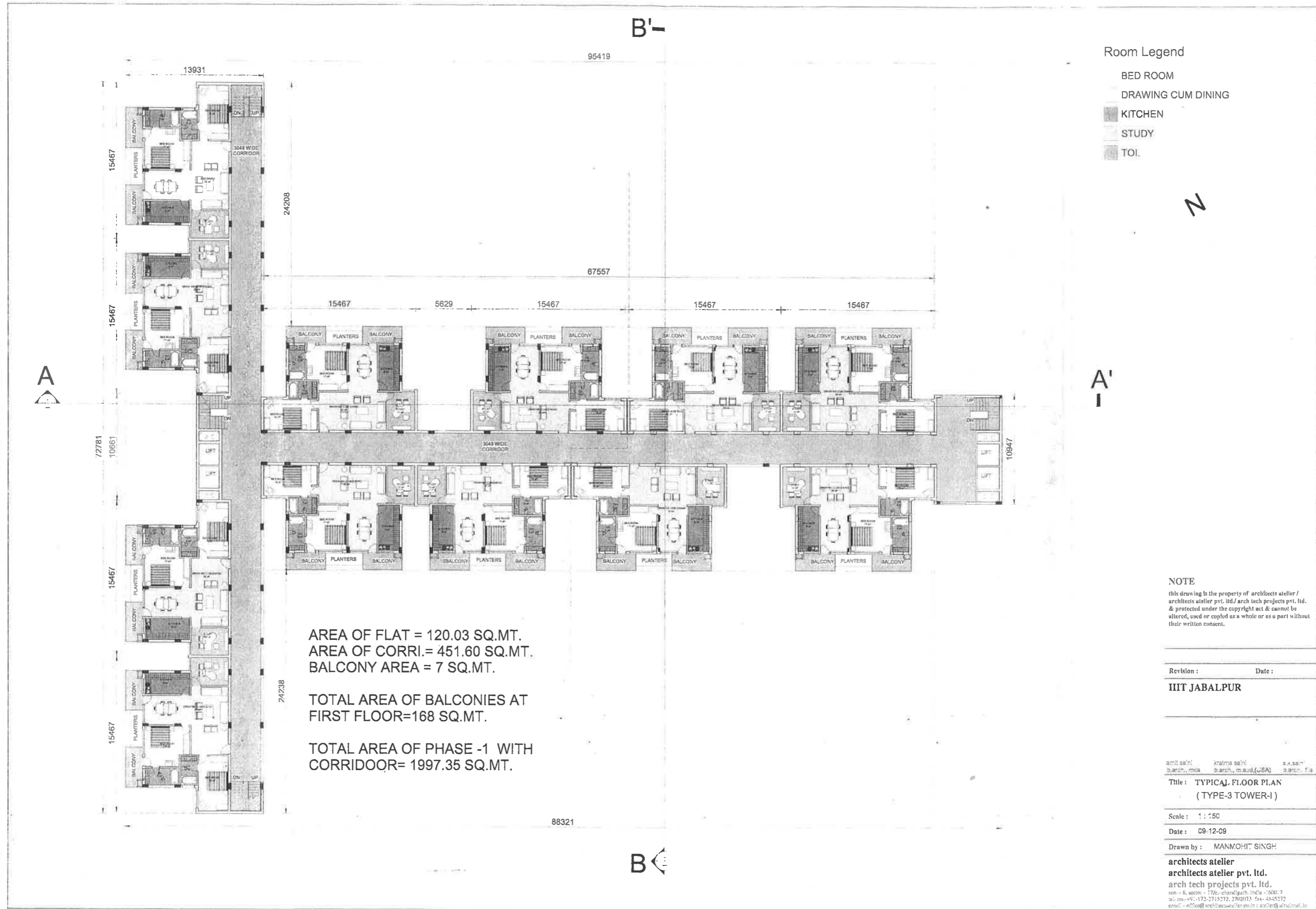


- Rates** : i) Delhi plinth area rates 2007 alongwith approved cost index of 109 for Jabalpur .
ii) Items not available in the DPAR have been analyzed on DSR 2007.
- Period of Construction** : Total eighteen months.
- Mode** : CPWD shall manage construction of project..

(V K Dubey)

A.E.





- Room Legend**
- BED ROOM
 - DRAWING CUM DINING
 - KITCHEN
 - STUDY
 - TOI.



AREA OF FLAT = 120.03 SQ.MT.
 AREA OF CORRI.= 451.60 SQ.MT.
 BALCONY AREA = 7 SQ.MT.

TOTAL AREA OF BALCONIES AT
 FIRST FLOOR=168 SQ.MT.

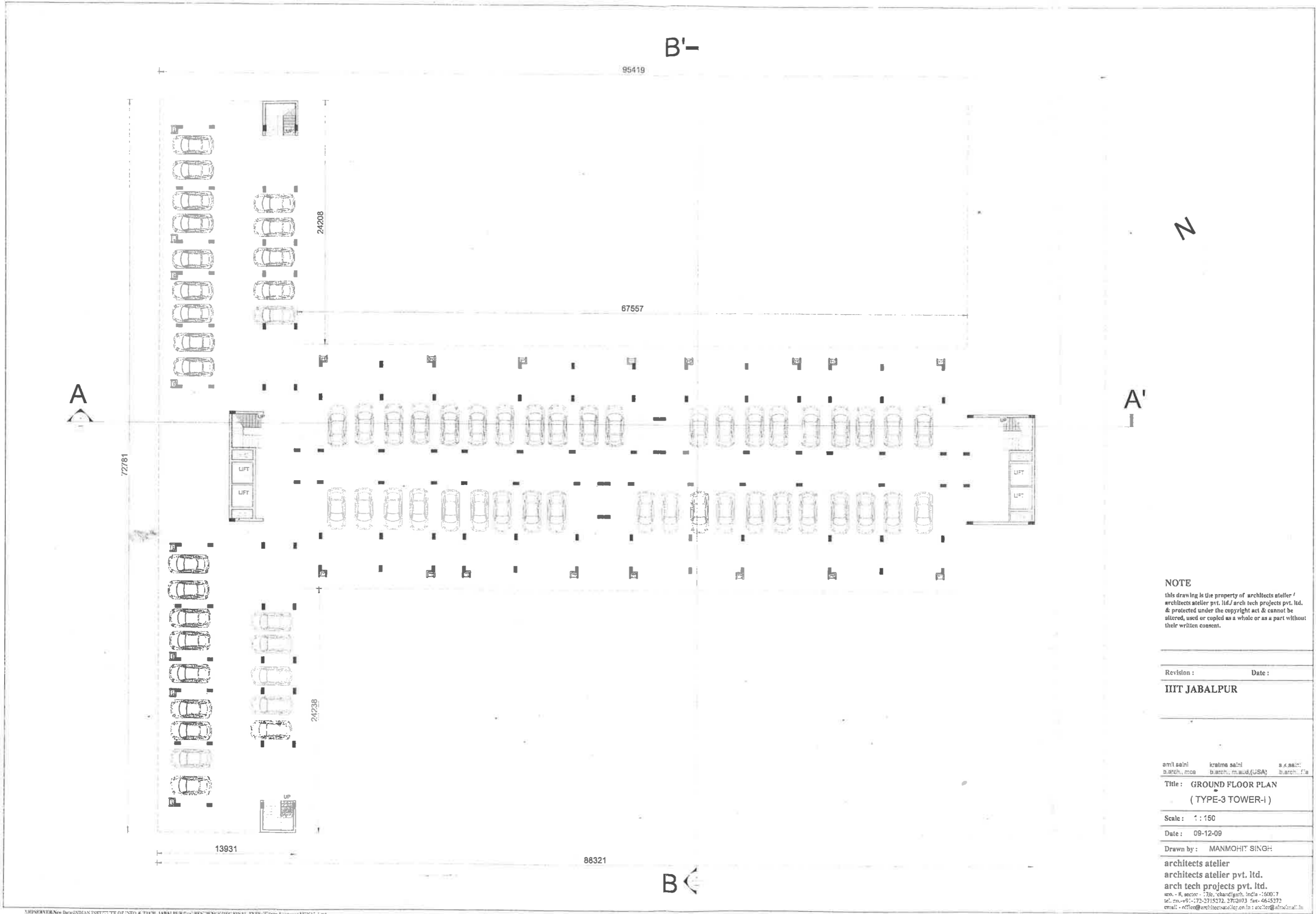
TOTAL AREA OF PHASE -1 WITH
 CORRIDOOR= 1997.35 SQ.MT.

NOTE
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 their written consent.

Revision :	Date :
IIIT JABALPUR	
<small>amr.sahni krishna sahani s.k.sahni p.arch., mca p.arch., m.arch.(USA) p.arch., p.a</small>	
Title: TYPICAL FLOOR PLAN (TYPE-3 TOWER-I)	
Scale : 1 : 150	
Date : 09-12-09	
Drawn by : MANMOHIT SINGH	

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N

24
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Revision : Date :
IIIT JABALPUR

amit saini kralma saini s.k.saini
 B.Arch., MCA B.Arch., M.Arch.(USA) B.Arch., FA

Title : **GROUND FLOOR PLAN**
 (TYPE-3 TOWER-1)

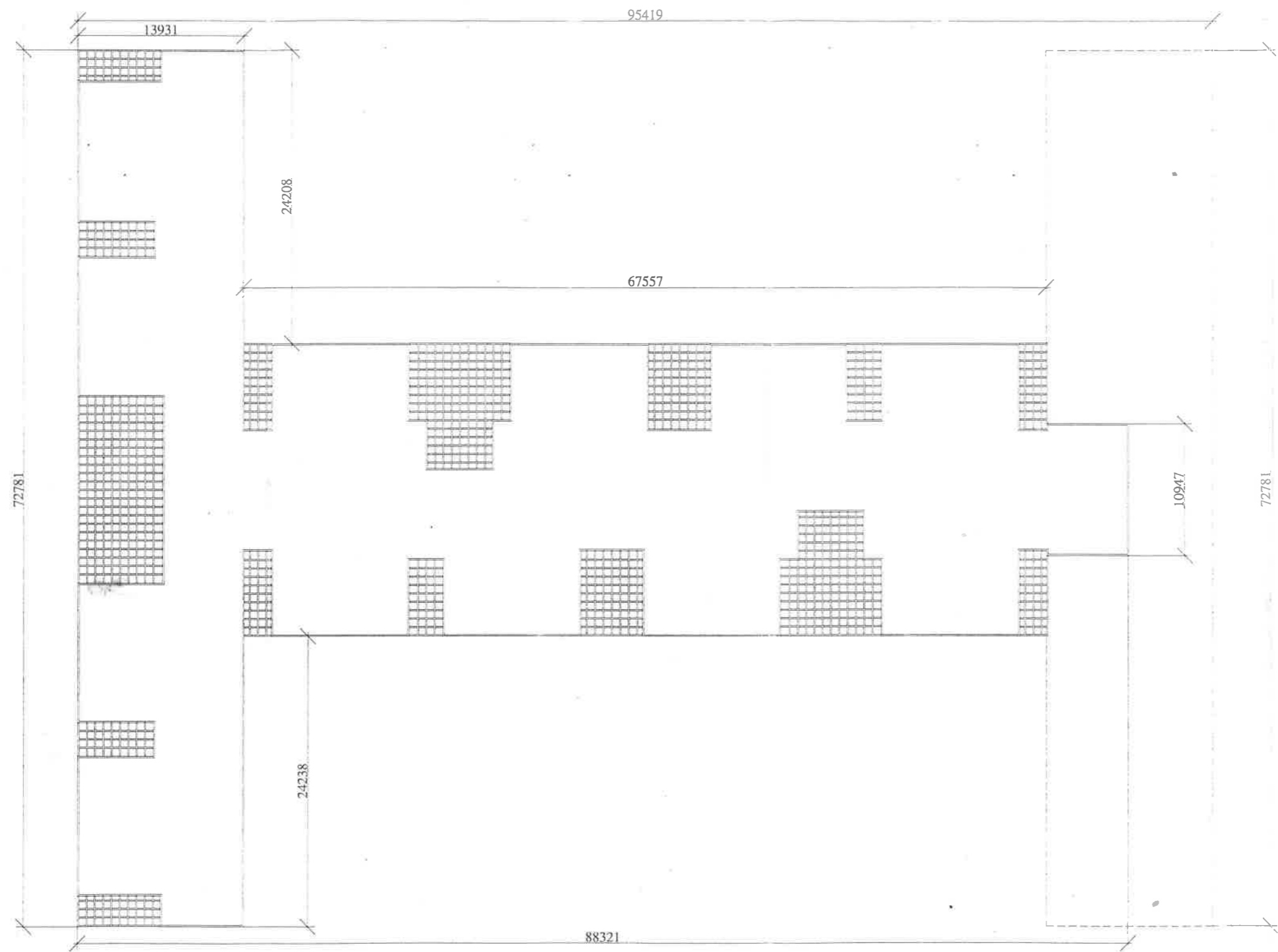
Scale : 1 : 150

Date : 09-12-09

Drawn by : MANMOHIT SINGH

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31-12-2009 13:38:03



ROOF PLAN

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No	Date	Revision
IIIT JABALPUR		
Title RESIDENCE		
ROOF PLAN (TYPE-TOWER-I) PHASE-1		
amit sahil b.arch., mca	harsha sahil b.arch., m.aud (USA)	v.k.sahil b.arch., fpa
Drw No		
Scale NTS		
Drwt		Date
MUNOCHIT SINGH		DEC 2009
architects atelier architects atelier pvt. ltd. architects atelier & associates sco-8, sec-17/e chandigarh-160017 tel: 2702073, 2715272 fax: 4645272		

GOVERNMENT OF INDIA
OFFICE OF THE CHIEF ENGINEER
CENTRAL ZONE , CENTRAL P.W.D.,
BHOPAL.

PRELIMINARY ESTIMATE

**NAME OF WORK :- C/o 60 Nos. Type-III Flats for PDPM IIIT D&M,
Jabalpur (MP)**

AMOUNT:- Rs. 24,48,85,000.00 including contingencies

P.E. No.:- 63 / CE(CZ) / 2009- 2010

केन्द्रीय लोक निर्माण विभाग

CPWD

GOVERNMENT OF INDIA
CENTRAL PUBLIC WORKS DEPARTMENT

State : MP.

Division : BCD-II, Bhopal

Branch :- B&R

Preliminary Estimate No. 63 /CE(CZ)/2009-10

Name of Work :- C/o 60 Nos. Type-III Flats for PDPM IIIT D&M, Jabalpur (MP)

Fund :-

Major Head	Minor Head	Detailed Head
Deposit work		

This Preliminary Estimate framed by Er. J.P. Sharma, Executive Engineer(P)I, C.Z., CPWD, Bhopal, of the probable cost of Rs. 24,48,85,000/- (Rupees twenty four crore forty eight lac eighty five thousand only) including 3% contingencies.

REPORT

History :- This preliminary estimate amounting to Rs. 24,48,85,000/- including 3% contingencies has been framed to meet the probable cost of the above work and for accord of Administrative Approval & Expenditure Sanction from the competent authority.

The requisition for the work has been received from Director, PDPM IIIT D&M, Jabalpur (MP) vide letter No. IIITMJ/B&W/SQ/10/01/01 dated 31.12.2009, received in Central Zone office vide no. 86-E dated 08.01.2010.

Design & Scope :- The preliminary estimate has been framed based on the following architectural drawings, received from Director, PDPM IIIT D&M, Jabalpur (MP) and developed by Architects atelier and Associates, Chandigarh on behalf of PDPM IIIT D&M, Jabalpur (MP).

:-

Sl. No.	Drg. No.	Description
1.	L-01	Layout Plan
2.	(T-III) A (T-III) 01	Ground Floor Plan
3.	(T-III) A (T-III) 02	First / Typical floor plan
4.	(T-III) A (T-III) 03	Elevations
5.	(T-III) A (T-III) 04	Sections
6.	(T-III) A (T-III) 05	Roof plan
7.	(T-III) AE (T-III) 01	Enlarged single unit plan

The estimate provides for construction of 60 Nos. Type-III multi storied flats in G+5 construction with stilt parking on ground floor. The buildings shall be RCC framed structure with raft foundation. Load bearing capacity of soil formation is assumed at 10T/m², yet to be determined.

The estimate for Type- III flats has been framed keeping in view the provision of specification and construction material shown in the drawings. Conformity of drawings with the entitlement of incumbent occupants and Government of India Rules shall however be ensured by

28

PDPM IIIT D&M, Jabalpur (MP). Because, the drawings do not conform to the plinth area norms of Ministry of Urban Affairs with respect to covered area as well as specifications.

Proposed specifications to be followed in construction and as intimated by Director of Institute are attached as Annexure "A".

This estimate does not include following provisions as desired by Director, PDPM IIIT D&M, Jabalpur, as separate estimate is understood to be sanctioned.

1. Provision of rain water harvesting
2. Metalled road,
3. street lighting
4. Compound wall and fencing.
5. External water supply system
6. Sewerage system
7. Drainage system
8. Electric supply grid
9. Levelling of site.

The architectural and structural drawings shall be prepared by the consultant appointed by PDPM IIIT D&M, Jabalpur and approved by Director, PDPM IIIT D&M, and Jabalpur after due proof checking. CPWD shall manage construction of project.

The cost projected in this estimate is liable to revision due to probable escalation in cost of construction apart from other reasons such as change in scope, area, design, specification etc, if, and as desired by the client department at a later date.

SPECIFICATION : The work shall be carried out as per CPWD specification 2009 Vol-I to II.

RATE : As per PAR 2007 with upto date correction slips duly enhanced by approved cost index of 109 for Jabalpur as on 01.07.09.

COST : Rs. 24,48,85,000/- including 3% Contingencies but excluding consultancy fee.


W.C. Estt. : Shall be met out of contingencies, if required.

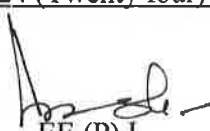
LAND : Available with client.

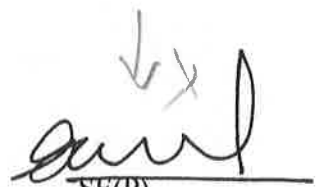
T & P : No special T&P will be required.

METHOD : By contract after call of tenders. .

TIME : After receipt of A/A & E/S
(i) Planning 6 (Six) Months
(ii) Execution 18 (Twelve) Months.
24 (Twenty four) Months


AE (P)
CZ, CPWD, Bhopal


EE (P) I
CZ, CPWD, Bhopal


SE (P)
CZ, CPWD, Bhopal

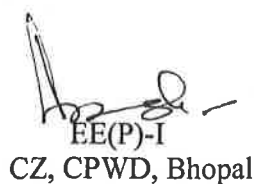
BRIEF DESCRIPTION OF SPECIFICATION

Name of Work :- C/o 60 Nos. Type-III Flats for PDPM IIIT D&M, Jabalpur (MP)

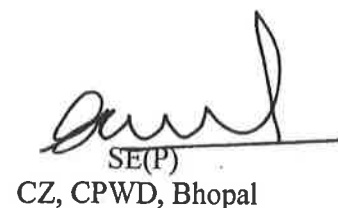
Sr. No.	Item	Specification
1.	Foundation	RCC isolated/combined footings for Columns. All three columns – Bearing capacity of soil 10 T / Sqm at 1.2 m below ground level.
2.	Superstructure	RCC framed structure, with bricks infill walls.
3.	<u>Shutters</u> a) Window	Sliding aluminium window
	b) Door	Flush door with wooden chowkhat.
	c) W.C. Bath room	Solid PVC shutters.
4.	Fittings	Powder coated aluminium fittings.
5.	Flooring a) In rooms	Vitrified tile flooring.
	b) Common circulation area / Staircase	Kota stone flooring and matching skirting.
	c) Toilets	Ceramic tiles flooring and ceramic tiles upto ceiling height.
6..	Finishing a) External	Acrylic smooth exterior paint.
	b) Internal	All walls & ceilings to be treated with 2 mm thick POP putty followed by a coat of plastic emulsion paint except kitchen, bath, WC and ceilings, which will be white washed Synthetic enamel paint on all wood work and steel work.
7.	Roofing	Integral cement based water proofing treatment over terrace slab.
8.	Kitchen Sink	Stainless steel kitchen sink with drain board.
9.	Other s	Modular Kitchen, Solar Water Heater.



AE(P)
CZ, CPWD, Bhopal



EE(P)-I
CZ, CPWD, Bhopal



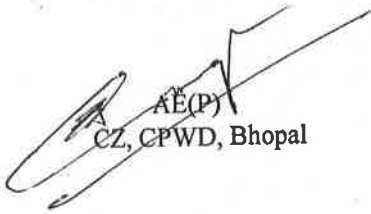
SE(P)
CZ, CPWD, Bhopal

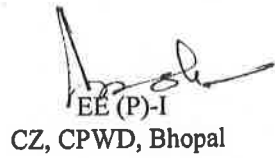
GENERAL ABSTRACT OF COST

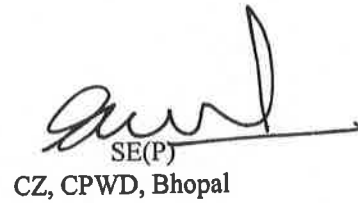
Name of work :- C/o 60 Nos. Type-III Flats for PDPM IIIT D&M, Jabalpur (MP)

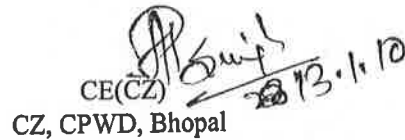
S.No.	Description	Amount (Rs.)		Total (Rs.)
		Civil	Electrical	
1	SH-I : Main Building	200,473,482	32,593,657	233,067,139
	Total	200,473,482	32,593,657	233,067,139

Add for quality Assurance	@	1.00%	2,330,671
			235,397,810
Add for labour Cess	@	1.00%	2,353,978
			237,751,788
Add for Contingencies	@	3.00%	7,132,554
		Total	244,884,342
		Say	244,885,000


AE(P)
CZ, CPWD, Bhopal


EE (P)-I
CZ, CPWD, Bhopal


SE(P)
CZ, CPWD, Bhopal


CE(CZ)
CZ, CPWD, Bhopal
13.1.10

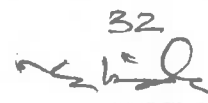


ABSTRACT OF COST

ame of work :- C/o 60 Nos. Type-III Flats for PDPM IIT D&M, Jabalpur (MP)

No.	Description	Quantity	Unit	Rate Rs.	Amount in Rs.
H-I : MAIN BUILDING					
1.0	CIVIL				
1.1	RCC framed structure Floor height upto 2.90 m	13,212	Sqm	9000.00	118,908,000
1.2	Extra for additional height of floor i.e. 3.28 metre against 2.90 metre	11,135	Sqm	190.00	2,115,650
					121,023,650 "A"
1.3	Extra for resisting earthquake forces	13,212	Sqm	630.00	8,323,560
1.4	Extra for RCC Raft foundation (G.F. only)	2,077	Sqm	3560.00	7,394,120
1.5	Extra for fire fighting system- with wet riser	13,212	Sqm	300.00	3,963,600
1.6	Extra for manual fire alarm system	13,212	Sqm	155.00	2,047,860
1.7	Extra for modular kitchen	60	Each quarter	125000.00	7,500,000 MR
1.8	Extra for vitrified tile flooring and skirting instead of terrazo tiles	9,000	Sqm	713.60	6,422,400
1.9	Extra for sliding aluminium windows instead of CRC windows	60	Each quarter	50000.00	3,000,000 MR
1.10	Extra for boulding automation / Green Building Provisions @ 5% on 'A'	121,023,650	%	5%	6,051,183
					165,726,373
2.0	SERVICES (CIVIL)				
2.1	Internal water supply & sanitary installation	121,023,650	%	12%	14,522,838
2.2	External service connection on 'A'	121,023,650	%	3.75%	4,538,387
				Total	184,787,598
	Add extra for approved C.I. of Jabalpur 109 (as on 01.07.09) i.e. 9% on all items except MR items				15,685,884
				Grand Total	200,473,482

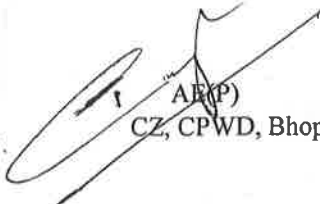
 (M&P)


32


ABSTRACT OF COST

ame of work :- C/o 60 Nos. Type-III Flats for PDPM IIIT D&M, Jabalpur (MP)

No.	Description	Quantity	Unit	Rate Rs.	Amount in Rs.
3.0	SERVICES (ELECTRICAL)				
3.1	Internal electric installations	121,023,650	%	12.50%	15,127,956
3.2	External service connection on 'A'	121,023,650	%	1.25%	1,512,796
3.3	Lightning conductor	121,023,650	%	0.33%	399,378
3.4	Telepone conduits	121,023,650	%	0.50%	605,118
3.5	Centralised intercom system	121,023,650	%	1.00%	1,210,237
3.6	Computer conduiting	121,023,650	%	0.50%	605,118
3.7	Solar water heater @ 200/-/lit	12,000	Litre	LS	2,400,000 MR
3.8	Pasenger lift- 16 passenger.(G+5)	4	Each	2060000.00	8,240,000
				Total :	30,100,603
	Add extra for approved C.I. of Jabalpur 109 (as on 01.07.09) i.e. 9% on all items except MR items				2,493,054
				Grand Total	32,593,657


AR(P)
CZ, CPWD, Bhopal


EE (P-I)
CZ, CPWD, Bhopal

Name of Work: Construction of Narmada Residency III

SUMMARY OF COST

Sl no	Description	Amount in Rs.
1	Vetted Cost of Building (A) (including Labour Cess @ 1% & Contingency @ 3 %)	24,28,85,000.00
5	Architects Fees @ 5.515% (5% fee + Service tax @10.30%)	1,33,95,108.00
	Grand Total	25,62,80,108.00

Says Rs 2562 Lacs

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ANNEXURE-4

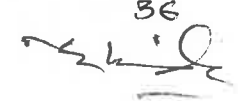
Project : Construction of Indian Institute of Information & Technology, Jabalpur
Subject : Road Network in Academic Area(Phase 1)
Abstract of Cost

SUB-HEAD	DESCRIPTION OF SUB-HEAD	AMOUNT (RS.)
SUB-HEAD-A	CIVIL WORK	9147478.0
TOTAL		9147478.0
	ADD 9% Cost enhancement approved for Jabalpur on DSR Items	823273.020
	TOTAL(A)	9970751.000
	ADD Labour Cess @ 1% on (A)	99707.510
	ADD Contingencies @ 3% on (A)	299122.530
	TOTAL(B)	10369581.040
	ADD Architects fees @ 5.515% on (B)	571882.394
	GRAND TOTAL	10941463.434
		Says 10941463
Amount in Figure: Rupees One crore nine lacs forty one thousand four hundred sixty three only.		

DETAILED ESTIMATE FOR ROAD IIT JABALPUR

ABSTRACT OF COST - CIVIL WORK (WITH PREMIX COATING)

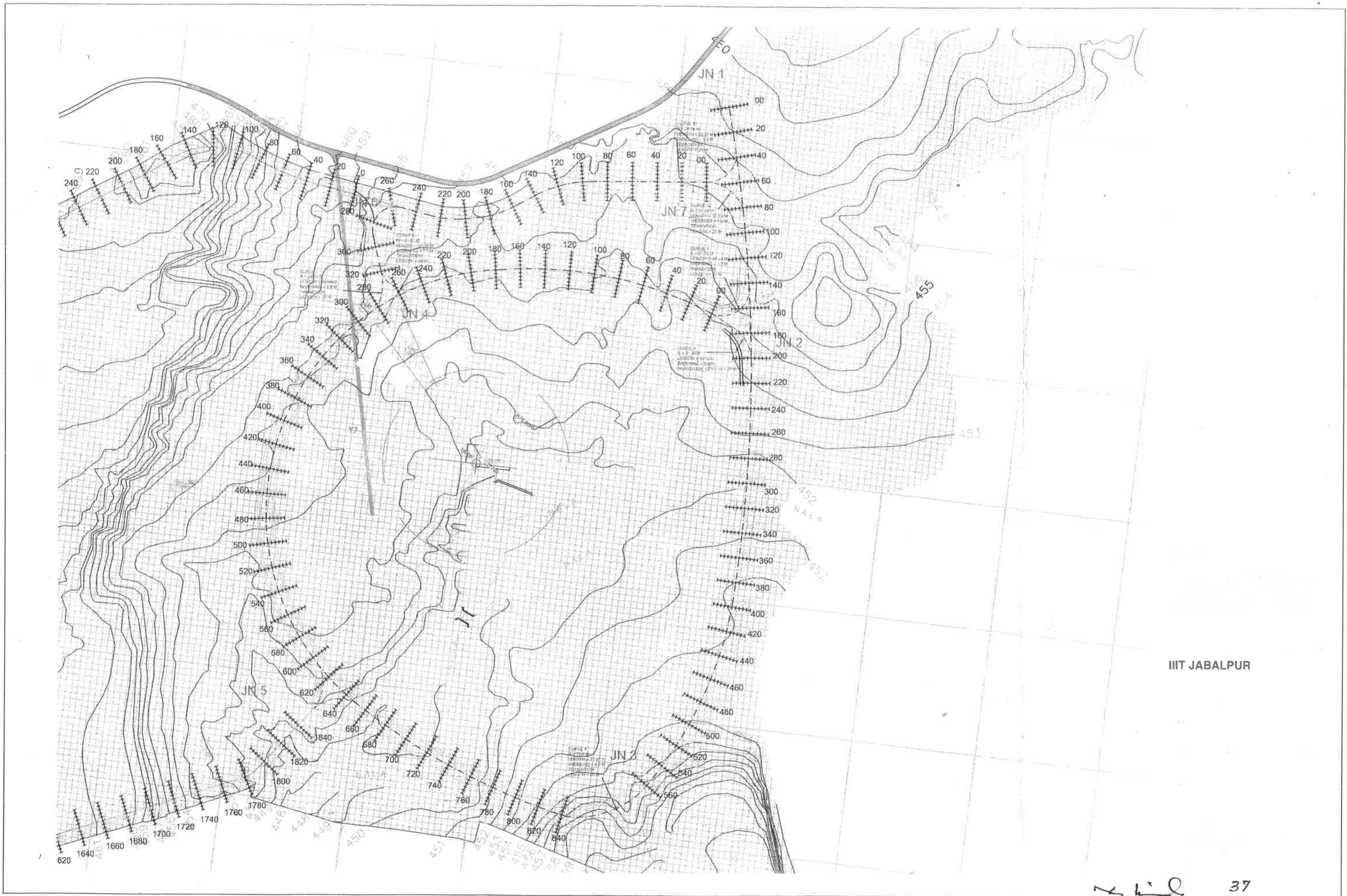
S. No.	DSR No.	Description	Unit	Quantity	Rate	Amount
1	2	3	4	5	6.00	7
1	2.7	EARTH IN EXCAVATION				
	2.7.1	IN ROCKY AREA	CUM	6718.4	103.40	694383
2	NS	EARTH FILLING IN ROAD AREA	Cum	521.60	301.50	157262
3	16.1	PREPARATION OF SUB GRADE	SQM	8920.00	33.90	302388
4	16.2	EXTRA FOR COMPACTION	CUM	1848.00	4.50	8316
5	16.3.1	SUPPLY AND STACKING AT SITE 90 MM TO 45 MM STONE AGGREGATE	Cum	1708.00	742.30	1267848
6	16.3.2	63 MM TO 45 MM	CUM	1708.00	768.45	1312513
7	16.4	LAYING SPREADING AND COMPACTING STONE AGGREGATE	CUM	3624.00	192.55	
8	16.6	SUPPLY STACKING AND SPREADING 6 MM THICK RED BAJRI	SQM	7800.00	6.70	52260
9	16.30	PREMIX COATING	SQM	8340.00	29.30	244362
10	16.40	SEAL COATING	SQM	7800.00	36.85	287430
11	16.63	KERB CHANNELS	RMT	3120.00	198.80	620256
12	NS	PAVEMENT TILES	SQM	3120.00	250.00	780000
13	NS	SAND FILLING UNDER PAVEMENT	CUM	468.00	800.00	374400
14	4.1.8	PCC 1:4:8 IN FOUNDATION	CUM	90.00	2449.00	220410
15	5.1.2	RCC IN FOUNDATION	CUM	162.00	3732.00	604584
16	5.2.2	RCC IN RETAINING WALLS	CUM	47.70	4092.35	195205
17	5.3	RCC IN SLABS	CUM	108.00	3673.85	396776
18	5.22.3	STEEL REINFORCEMENT	KGS.	34947.00	42.70	1492237
19	5.9.1	CENTRING IN FOUNDATION	SQM	62.10	119.25	7405
20	5.9.2	CENTRING SHUTTERING IN WALLS	SQM	342.00	180.40	61697
21	5.9.3	CENTRING SHUTTERING IN SLAB	SQM	360.00	187.35	67446
		TOTAL COST				9147478

36




NOTE
 This map is a reproduction of
 the original map and is not to be
 used for any purpose other than
 that for which it was prepared.
 The Government is not responsible
 for any error or omission.

IIIT JABALPUR



IIT JABALPUR

ANNEXURE-5

Project : Construction of Indian Institute of Information & Technology, Jabalpur
Name of Work : External Eletrification and lighting
Abstract of Cost

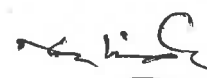
SUB-HEAD	DESCRIPTION OF SUB-HEAD	AMOUNT (RS.)
SUB-HEAD-A	MV PANEL	200000.0
SUB-HEAD-B	POLES AND LUMINAIRES	4753048.0
SUB-HEAD-C	CABLING	6140434.0
SUB-HEAD-D	EARTHING	171130.0
SUB-HEAD-E	CIVIL WORK	2154637.5
	TOTAL	13419249.5
SUB-HEAD-F	ADD 9% Cost enhancement approved for Jabalpur on DSR Items	432351.855
	TOTAL(A)	13851601.355
	ADD Labour Cess @ 1% on (A)	138516.014
	ADD Contingencies @ 3% on (A)	415548.041
	TOTAL(B)	14405665.409
	ADD Architects fees @ 5.515% on (B)	794472.447
	GRAND TOTAL	15200137.857
		Says Rs 152 Lacs
Amount in Figure: Rupees One crore fifty two lacs only.		

Project : Construction of Indian Institute of Information & Technology, Jabalpur

Name of work : External Electrification and Lighting

Bill of Quantities

S.No.	DSR/ Non DSR	Description of item	Unit	Qty.	Rate	Amount
	SUB-HEAD-A	MV PANEL				
	MR	<p>Design, fabrication, loading, unloading at store, supply, installation, testing and commissioning of EXTERNAL LIGHTING PANEL fabricated out of 2mm thick for structural members (Load bearing members) and 1.6mm thick for door and covers (Non load bearing members) CRCA sheet in cubicle compartmentalize free standing floor mounted, dust and vermin proof with reinforcement of suitable size angle iron, channel 'T' irons and / or flats wherever necessary, 16 gauge CRCA sheet steel shall be used for final distribution panels. Cable gland plates shall be provided on top as well as at the bottom of the panels. Panels shall be treated with all anticorrosive process before painting as per specifications with 2 coats of zinc chromate primer and final approved shade of enamelled paint. 2 Nos. earthing terminals shall be provided for all distribution panels. Panels shall be suitable for 415V, 3-phase, 4-wire, 50Hz supply system and with 15% spare space, lifting hooks shall also be provided in case of large panels.</p> <p>Approval shall be taken for panel before fabrication. Galvanized hardwares with zinc passivation shall be used in fabrication of panels.</p> <p>General Note:</p> <p>The rates apart from the Breakers and instruments shall also include the following :</p> <ol style="list-style-type: none"> 1 Supporting rigid steel framework. 2 Cubicle type, 14 gauge CRCA sheet steel enclosed. 3 Complete with interconnections and distribution bus bars. 4 Proper bonding to earth. 5 Painting/lettering on Breakers and distribution boards, the location they serve, providing on each panel its circuit diagram. 6 Providing cable clamps / supports within distribution boards cable alley. 7 TPN MCCB's shall mean 3 pole with adequate size of neutral link. 8 The breaking , capacity of MCCB's are mentioned panel wise. All MCCB's shall be with thermal magnetic/microprocessor releases as per specifications. 9 Panels shall be Powder Coated with Siemens gray paint shade no.RAL-7032 of IS-5. 				



S.No.	DSR/ Non DSR	Description of item	Unit	Qty.	Rate	Amount
		<p>10 Degree of protection for following type of distribution panel enclosure shall be as per IS:13947-1993.</p> <p>a. IP 43 for indoor panels.</p> <p>11 All MCCB's shall be provided with operating mechanism for door interlock.</p> <p>12 Current density of aluminium shall be 1.25 sq mm for 1.0 amps for rated current of bus bars and current density of copper shall be 1 sq.mm for 1.25 amps for rated current of bus bars.</p> <p>13 Tinned copper / GI earth bus shall be provided through out the length of each board as per schematic diagram.</p> <p>14 All measuring instruments (Meters) shall be of digital electronic (LED Type) of approved make.</p> <p>15 All hinged door shall be earthed through 2.5 sq mm tinned braided copper wire.</p> <p>16 Panels shall have provision of the following:</p> <p>a) Pad locking of Switch board doors.</p> <p>b) Pad locking of MCCB's handles in "OFF" Position.</p> <p><u>Incoming (1 No.):</u></p> <p>250 Amp TP+N MCCB, 25kA Three nos. Single phase contactor (for automation) of suitable rating (coil of contactor shall be 240 Volt)</p> <p><u>Metering & Indication:</u></p> <p>(0-500) volts digital voltmeter with built in selector switch protected by 2A control MCB's</p> <p>(0-250A) Digital ammeter with built in Selector Switch and suitable ratio, CI-1, 10VA CT's</p> <p>Set of Phase indicating lamps. Each backed up with 2 Amps Control MCB.</p> <p>Bus Bars:</p> <p>350A, TPN aluminium , colour coded bus bars suitable for 415V, 50Hz. (after deration)</p> <p>Outgoings</p> <p>ON/OFF indicating lamps with 2A Control MCB shall be provided on each outgoing.</p> <p>Fifteen (15) Nos. 25A TPN MCB (10KA) with TP contactor of suitable rating (coil of contactor shall be 240 Volt)</p>	Set	1	200000.0	200000.0
		Total of Sub-head C/F to Summary				200000.0

S.No.	DSR/ Non DSR	Description of item	Unit	Qty.	Rate	Amount
SUB-HEAD-B		POLES AND LUMINAIRES				
1.0	MR	Fabricating & supplying of 10 metre. long swagged steel tubular pole conforming to IS 2713-1980 (Part I to III) designation 410 SP - 40 having 3 steps bottom portion shall be 5.2 metre long having outer dia 139.7mm of thickness 4.5 mm, middle portion shall be 2.4 metre long having outer dia 114.3 mm with thickness of pipe 4.50 mm and top portion shall be 2.4 metre long having outer dia 88.9 mm with thickness of pipe 3.25mm including providing and fixing M.S. base plate 300mm x 300mm x 6mm including drilling holes for earthing and wire entry etc. as required. The pole shall be coated with black bitumenous paint throughtout internally & externally upto the level which goes inside the earth and the remaining position shall be painted with one coat of zinc chromate etc. including two coats of painting with the approved colour complete as required.(1 metre tubular arm for mounting light fixture shall be part of this item)	Nos.	158	11000.0	1738000.0
2.0	MR	Fabricating & supplying of 7.0 metre. long swagged steel tubular pole conforming to IS 2713-1980 (Part I to III) designation 410 SP-2 having 3 steps bottom portion shall be 4 metre long having outer dia 114.3 mm of thickness 4.50mm, middle portion shall be 1.50 metre long having outer dia 88.9 mm with thickness of pipe 4.05 mm and top portion shall be 1.50 metre long having outer dia 76.1mm with thickness of pipe 3.25mm including providing and fixing M.S. base plate 300mm x 300mm x 6mm including drilling holes for earthing and wire entry etc. as required. The pole shall be coated with black bitumenous paint throughtout internally & externally upto the level which goes inside the earth and the remaining position shall be painted with one coat of zinc chromate etc. including two coats of painting with the approved colour complete as required.(1 metre tubular arm for mounting light fixture shall be part of this item)	Nos.	77	7500.0	577500.0
3.0	DSR 2007-(ERMSCC8 H)	Erection of metallic street light standard pole of length exceeding 6.5 metres but not exceeding 8 metres in cement concrete 1:3:6 (1 cement : 3 coarse sand: 6 graded stone aggregate 40 mm nominal size) foundation with cement concrete collar of size 0.4m dia x 0.5 m height to accommodate the looping type cable end box including excavation and re-filling etc as required.	Each	158	1229.0	194182.0
4.0	DSR 2007-(ERSPCC1 0)	Erection of steel tubular or steel rail pole of length exceeding 8 metres but not exceeding 10 metres in cement concrete 1:3:6(1 cement: 3 coarse sand: 6 graded stone aggregate) 40mm(nominal size) foundation including excavation & filling etc. complete as required.	Each	77	1343.0	103411.0

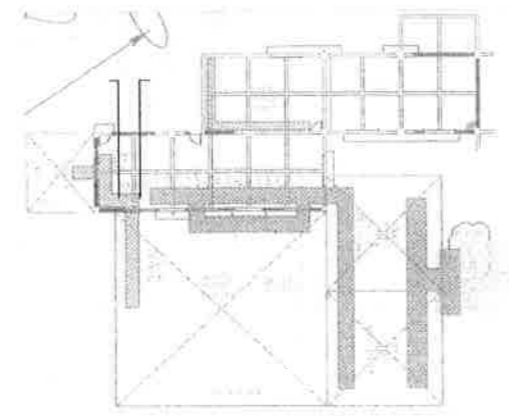
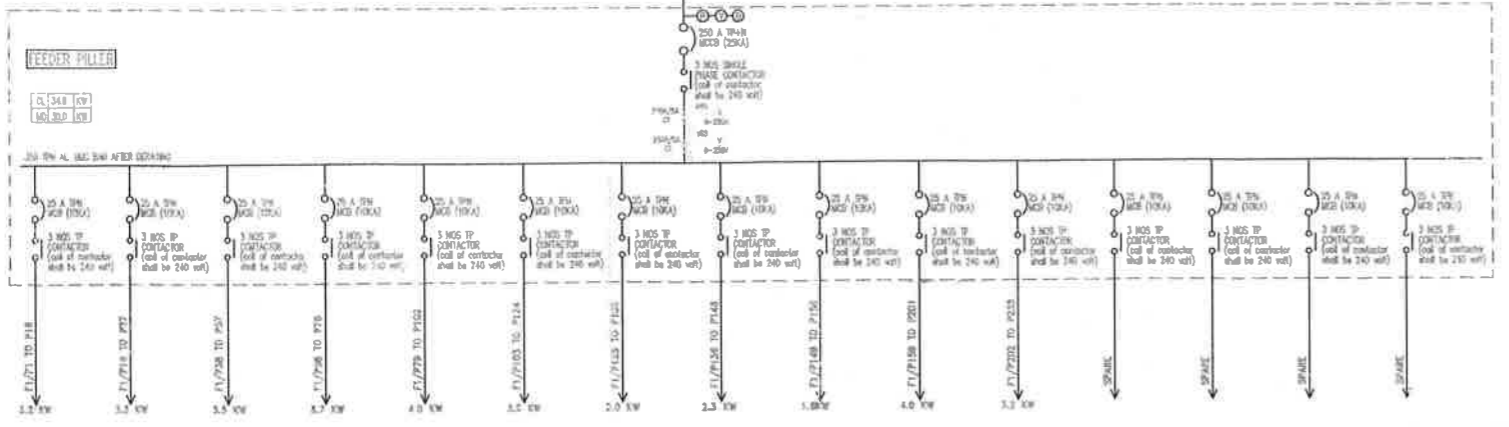
S.No.	DSR/ Non DSR	Description of item	Unit	Qty.	Rate	Amount
5.0	MR	Supplying & fixing dust and weather proof gasketed 250mm x 200mm x 100mm (deep) nominal size MS sheet steel cable looping box on the existing MS pole with MS clamp made out of 25mm x 3mm thick flat iron with suitable nuts & bolts complete with hinged cover and locking screws and washers earth studs including supplying and fixing 1No. 25A DP MCB (10KA) and 4 way terminal block suitable for receiving 4 Core, 16/25/35/50Sq.mm PVC cables, fixed on suitable size of bakelite sheet base complete with interconnections, painting etc.	Each	235	1000.0	235000.0
6.0	DSR-2007 External (POLPIP50)	Supply & fixing of GI pipe of 50mm dia (nominal) 3 metres length along the pole for protection of underground cable as required.	Each	235	603.0	141705.0
7.0	DR DSR-2007 External (POLPIP50)	Supply and drawing 3 x 2.5 Sq.mm FR PVC insulated copper conductor single core cable in the existing pole from cable looping box upto light fixture.	Metre	3500	40.0	140000.0
8.0	MR	Supply & fixing of 1 x 150 watt decorative street light fixture with housing made of diecast aluminium , POT optics reflector and heat resistant toughened glass cover fitted with seal safe optical compartment IP-65 suitable for post top mounting complete (Mounted on 10 metre pole) with 150 watt CDM-TT lamp, lamp holder, controlgear etc. of Philips Cat Ref. CRP 330/150 W or approved equivalent.	Each	158	8300.0	1311400.0
9.0	MR	Supply & fixing of 1 x 70 watt decorative street light fixture with housing made of diecast aluminium , POT optics reflector and heat resistant toughened glass cover fitted with seal safe optical compartment IP-65 suitable for post top mounting complete(Mounted on 7 metre pole) with 70 watt CDM-TT lamp, lamp holder, controlgear etc. of Philips Cat Ref. CRP 320/150 W or approved equivalent.	Each	77	4050.0	311850.0
Total of Sub-head C/F to Summary						4753048.0

S.No.	DSR/ Non DSR	Description of item	Unit	Qty.	Rate	Amount
SUB-HEAD-C		CABLING				
1.0	MR	Supply of following sizes of XLPE insulated PVC sheathed, Aluminium conductor armoured power cable of 1.1 KV grade conforming to IS 7098 amended upto date.				
a)		3.5C x 95 sq.mm	Metre	30	470.0	14100.0
b)		3.5C x 50 sq.mm	Metre	2160	289.0	624240.0
c)		3.5C x 35 sq.mm	Metre	12600	220.0	2772000.0
d)		4C x 25 sq.mm	Metre	4480	175.0	784000.0
e)		4C x 16 sq.mm	Metre	350	135.0	47250.0
3.0	DSR External 4.1 (MVET)	Supplying and making end termination with brass compression gland and aluminium lugs for following size of PVC insulated PVC sheathed/XLPE aluminium conductor cable of 1.1 kV grade as required.				
a)		3.5C x 95 sq.mm	Set	2	197.0	394.0
b)		3.5C x 50 sq.mm	Set	8	146.0	1168.0
c)		3.5C x 35 sq.mm	Set	410	137.0	56170.0
d)		4C x 25 sq.mm	Set	90	137.0	12330.0
e)		4C x 16 sq.mm	Set	2	196.0	392.0
3.1	DSR External 1.8 (MVCBPIP 400)	MV cable laying upto 400 sq.mm in Pipe :Laying of one number PVC insulated and PVC sheathred / XLPE power cable of 1.1 kV grade of size exceeding 25 sq.mm but not exceeding 400 sq .mm in the existing RCC/HUME/STONEWARE/METAL pipe as required.	Metre	200	21.0	4200.0
3.2	DSR External 1.1 (MVCBGR2 5)	MV cable laying upto 25 sq.mm in ground :Laying of one number PVC insulated and PVC sheathred / XLPE power cable of 1.1 kV grade of size not exceeding 25 sq .mm direct in ground including excavation, sand cushioning, protective covering and refilling the trench etc. as required.	Metre	4830	85.0	410550.0
3.3	DSR External 1.2 (MVCBGR2 5)	MV cable laying upto 120 sq.mm in ground :Laying of one number PVC insulated and PVC sheathred / XLPE power cable of 1.1 kV grade of size exceeding 25 sq .mm but not exceeding 120 sq.mm direct in ground including excavation, sand cushioning, protective covering and refilling the trench etc. as required.	Metre	14790	91.0	1345890.0
7.0	DSR 2007 Subhead-19 Drainage	Hume Pipes: Providing and laying non-pressure NP-2 Class (light duty) RCC pipe with collars jointed with stiff mixture of cement mortar in the proportion of 1:2 (1 Cement : 2 Find Sand) including testing of joints etc. complete.				
	19.6.4	300mm dia. R.C.C. pipe	Metre	200	338.8	67750.0
Total of Sub-head C/F to Summary						6140434.0

S.No.	DSR/ Non DSR	Description of item	Unit	Qty.	Rate	Amount
SUB-HEAD-D		EARTHING				
		Supply, installation, testing and commissioning of the following :				
1.0	DSR Internal 2007 3.2 (EARPIPC HAR)	G.I. earth pipe electrode with Salt/charcoal : Earthing with G.I. earth pipe 4.5 mtr long , 40 mm dia including accessories and providing masonry enclosure with cover plate having locking arrangement and watering pipe etc with charcoal or coke and salt complete as required.	Set	30	1971.0	59130.0
2.0	DSR Internal 2007 3.10 (EAR6GGI WR)	S/F 6 SWG G.I. wire in Ground : Supplying and laying 6 SWG G.I. wire at 0.50 metre below ground level for conductor earth electrode, including soldering etc .as required.	Metre	7000	16.0	112000.0
		Total of Sub-head C/F to Summary				171130.0



S.No.	DSR/ Non DSR	Description of item	Unit	Qty.	Rate	Amount
SUB-HEAD-E		CIVIL WORK				
1.0	DSR No. 2.7	Earth work in excavation by mechanical means (Hydraulic excavator) /manual means over areas (exceeding 30 cm depth ,1.5 in width as well 10 sqm on plan) including disposal of excavated earth , lead up to 50 m and lift up to 1.5 m , disposed earth to be levelled and neatly dressed .				
2.0	DSR No. 2.7.1	Ordinary rock	CUM	5000	152.6	763000.0
3.0	DSR No. 2.7.2	Hard rock (blasting prohibited)	CUM	3750	325.3	1219687.5
4.0	DSR 2.8	Earth work in excavation by mechanical means (Hydraulic excavator) /manual means in foundation trenches or drains (not exceeding ,1.5 in width as well 10 sqm on plan) including dressing of sides and ramming of bottoms , lift up to 1.5 m ,including getting out the excavated soil and disposal of surplus excavated soil as directed , within a lead of 50 m .				
	DSR 2.8.1	All kinds of soil	CUM	1000	103.4	103400.0
	DSR 2.25	Filling available excavated earth (excluding rock) in trenches,plinth,sides of foundations etc.in layers not exceeding 20 cm in depth consolidation each deposited layer by ramming and watering , lead up to 150 m and lift up to 1.5m.	CUM	1500	45.7	68550.0
Total of Sub-head C/F to Summary						2154637.5



NO.	DESCRIPTION	UNIT	QTY
1	25 A 2P MCCB (10KA)	1	15
2	3 NOS 2P CONTACTOR	1	15
3	11.071 TO P18	1	1
4	11.071 TO P17	1	1
5	11.078 TO P16	1	1
6	11.078 TO P15	1	1
7	11.078 TO P14	1	1
8	11.078 TO P13	1	1
9	11.078 TO P12	1	1
10	11.078 TO P11	1	1
11	11.078 TO P10	1	1
12	11.078 TO P9	1	1
13	11.078 TO P8	1	1
14	11.078 TO P7	1	1
15	11.078 TO P6	1	1
16	11.078 TO P5	1	1
17	11.078 TO P4	1	1
18	11.078 TO P3	1	1

DRAWN / CHECKED / DATE	
SCALE	
PROJECT / CLIENT	
SHEET NO. / TOTAL SHEETS	
DATE	

ANNEXURE-6

Sub- Revised estimate for power supply to 1500 KVA new HT connection on 33 KV to M/s P.D.P.M. Indian Institute of Information Technology Design & Manufacturing, Jabalpur at Village Mehgawan beside Dumna Air Port Road, Jabalpur (O&M) Dn. Jabalpur.

An estimate for said work has been sanctioned vide no. 45-000-4452-08-0018 dt. 17.07.08 amounting to Rs. 6635484=00 having provision of a separate 33 KV feeder over a route length of 2.5 KM and addl. 33 KV Bay and double circuite on existing 33 KV line Gora Bazar to Sita Pahad S/s and a span of about 50 mtrs. with AB cable.

2. The Military Authority have also not permitted to erect 33 KV line in their protected area and therefore route of 33 KV line is to be changed. Hence, the above estimate is required to be revised.

3. In view of above revised estimate for aforesaid work is prepared by EE(O&M) Dn. Jabalpur for Rs. 13114268=00. The same is placed on file.

4. It is requested to accord technical sanction to estimate for new HT connection of 1500 KVA on 33 KV to M/s P.D.P.M. Indian Institute of Information Technology Design & Manufacturing at village Mehgawan, Jabalpur.

Asst. Secy	
Div. S.E. (O&M) JC	
SR. No.	439
Date	23 JAN 2010
Sec.....	

ED(JR) JBP

SE(O&M) JBP

The residential buildings are proposed to be constructed as R.C.C. framed structure with brick filler walls of class designation 35, provisions in this estimate has also been made for:

- a) Internal services such as water supply & sanitary installations, electrical installations, telephone conduits & wiring, Power wiring, modular switches etc.
- b) Computer conduiting.
- c) Internal intercom system.
- d) External service connection
- e) Modular kitchens
- f) Solar water heating systems
- g) Lifts in buildings
- h) Site development work such as leveling etc.

Some of the items excluded from the provisions of this estimate are:

- a) All external roadwork
- b) All external services like storm water drains, water supply, sewerage etc.
- c) All HT electrical substations & cabling etc.
- d) All external lighting etc.

These items have been removed as these will form a separate estimate for external site development work which shall be coming up in phases.

SPECIFICATIONS: The work shall be carried out as per CPWD specifications 1996 Vol I to VI and revised CPWD specifications 2002 for cement, mortar, cement concrete and RCC works with up to date correction slips.

RATES : Based on DPAR 2007 with up to date correction slips, enhanced by 9% cost enhancement.

COST : Rs. 220357500 including 3% contingencies and 9% cost enhancement for Jabalpur and architects fee.

(The cost of project, however is liable to revision due to probable escalation in cost of construction apart from other reasons such as change in scope, area, design and specifications etc., if so desired by the client at a later date)

LAND : Available with client.

TIME : 24 months

For architects atelier

For Architects Atelier

(partner)
(Partner)

DIRECTOR,
PDPM IITDM
Jabalpur

Sub: Plinth area estimate for residential staff quarter Type - III.

NAME OF WORK: CONSTRUCTION OF NARMADA RESIDENCY-III (60 No's).
AT PDPM IITDM, JABALPUR.

HISTORY: This preliminary estimate amounting to Rs. 220357500 including 3% contingency, 9% cost enhancement for rates in Jabalpur zone and architect's fee @ 5.515 % has been framed to cover the probable cost of above mentioned work and for obtaining Administrative Approval and expenditure Sanction from the competent authority.

DESIGN & SCOPE: This preliminary estimate provides for construction of residential buildings as per the following details:

60 Nos. Type- III Quarters : G+5 storied having a total plinth area of 11109.24Sqm. with Ground floor on Stilts for Parking.

The plinth area is based on the following architectural drawings duly approved by the Director, PDPM IITDM, Jabalpur.

- 1) Layout Plan - L-01
- 2) Ground floor plan (type II)- A(TII)-01
- 3) First /typical floor plan (type II)- A(TII)-02
- 4) Elevation (type II)- A(TII)-03
- 5) Section (type II)- A(TII)-04
- 6) Roof Plan (type II)- A(TII)-05
- 7) Enlarged Single Unit Plan (type II)- AE(TII)-01
- 8) Ground floor plan (type III)- A(TIII)-01
- 9) First /typical floor plan (type III)- A(TIII)-02
- 10) Elevation (type III)- A(TIII)-03
- 11) Section (type III)- A(TIII)-04
- 12) Enlarged Single Unit Plan (type III)- AE(TIII)-01
- 13) Roof Plan (type III)- A(TIII)-05

For Architects Atelier

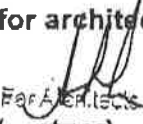
(Partner)

Name of Work: Construction of Narmada Residency III m. Multistoried Flats in G+3 construction with stilt parking on ground floor.

S.No.	Description	Total
1	CIVIL COST ESTIMATE	180526531.33
2	SERVICES COST ESTIMATE	29215843.77
	Subtotal cost	209744425.10
	ADD 1% FOR QUALITY ASSURANCE	2097444.25
	Sub-Total Cost	211841869.35
	ADD 1% FOR labour cess	2118418.69
	Sub-Total Cost	213939313.60
	ADD 3% FOR CONTINGENCIES	6418179.41
	Total Cost	220357493.01
	Say	220357500

Twenty two crores three lacs fifty seven thousand five hundred rupees only

for architects atelier


For Architects Atelier
(partner)

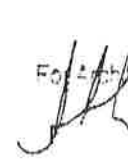
(Partner)

199555
199555
20151023
201510
2035258
6105775

209610026

Name of Work: Construction of Narmada Residency III multistoried flats in G+5 construction with stillt parking on ground floor (60 nos.).

SH-1	MAIN BUILDING	AREA	UNITS	COST	TOTAL COST
	CIVIL				
	TOTAL AREA	11109.24			
1.1.2	RCC FRAMES SRUCTURE UPTO SIX STOREY	11109.24 SQM.		9000.00	99983160
1.2	Extra for additional height of floor i.e 3.28m against 2.90m	9308.70 SQM.		190.00	1766653
					101751813
1.2.8	FOR RESISTING EARTHQUAKE FORCES	11109.24 SQM.		630.00	6998821.2
1.2.9	RCC Raft foundation (ground floor only)	1800.54 SQM.		3560.00	6409922.4
1.4.1	Fire Fighting with wet riser	11109.24 SQM.		300.00	3332772
1.5.1	Manual Fire Alarm system	11109.24 SQM.		155.00	1721932.2
MR	ADD FOR MODULAR KITCHEN	60 EACH		125000	7500000.00
	ADD FOR USING VITRIFIED TILES (difference in cost of terrazo & vitrified)				
MR	ADD FOR USING SLIDING ALUMINIUM WINDOWS	9309 SQM.		713.60	6642688.32
		60 EACH		50000	3000000.00
					137357949.12
3.1	ADD FOR INTERNAL WATER SUPPLY & SANITARY INSTALLATION	12.00%			12210217.56
3.2	ADD FOR EXTERNAL SERVICE CONNECTION	3.75%			3815692.99
	ADD FOR BUILDING AUTOMATION	5.00%			5087590.65
	NET TOTAL				158471450.32
	Add for approved C.I of Jabalpur 109 (as on 01.07.09) i.e. 9% on all items except MR items	9.00%			13317430.53
	Add for Architects Fee	5.515%			8739700.485
	GRAND TOTAL				180528581.33


 For Architects Atelier
 (Partner)

Name of Work: Construction of Narmada Residency III multistoried flats
in G+5 construction with stilt parking on ground floor (60 nos.)

Area Statement (Type III)			
Built up area on ground floor without balconies	1800.54	100%	1800.54
area on ground floor of balconies	0.00	50%	0.00
Built up area on first floor without balconies	1800.54	100%	1800.54
area on first floor of balconies	135.36	50%	67.68
Built up area on second floor without balconies	1800.54	100%	1800.54
area on second floor of balconies	135.36	50%	67.68
Built up area on third floor without balconies	1800.54	100%	1800.54
area on third floor of balconies	135.36	50%	67.68
Built up area on fourth floor without balconies	1800.54	100%	1800.54
area on fourth floor of balconies	135.36	50%	67.68
Built up area on fifth floor	1800.54	100%	1800.54
area on floor of balconies	135.36	50%	67.68
Subtotal			11141.64
Deductions			
Area of shafts	32.4	100%	32.40
Total covered area		sqm	11109.24
finishes			
flooring- vitrified			
external finishes- plaster with acrylic paint			
doors - flush doors with wooden chowkhats			
windows- sliding aluminium			
computer networking in flats			
centralized intercom			
modular kitchen			
solar water heaters			
udaipur green in stairs			

For Architects/Atelier

[Handwritten Signature]
(Partner)